

24 Edward Street, Morpeth

Planning Proposal to rezone land to R1 General Residential



Statement of Heritage Impact - Peer Review

Prepared for: Maitland City Council

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20 May 2015



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Heritage Impact Assessment Peer Review

Planning Proposal to Rezone 24 Edward Street, Morpeth to R1

I refer to the above and to Council's commission to Richard Lamb and Associates for an independent peer review of the Statement of Heritage Impact Statement prepared by EJE Heritage, including visual impact considerations, in relation to a planning proposal to re zone land at 24 Edward Street.

Summary of my experience and CV

I am a professional consultant specialising in visual impacts assessment and the principal of Richard Lamb and Associates (RLA). I have taught at the University of Sydney and specialised in heritage conservation, environmental impact assessment and visual perception studies for 30 years.

I provide professional services, expert advice and landscape and aesthetic assessments in many different contexts. I carry out strategic planning studies to protect and enhance scenic quality and landscape heritage values, conduct scenic and aesthetic assessments in all contexts, from rural to urban, provide advice on view loss and view sharing and conduct landscape heritage studies. I act for various client groups on an independent basis, including local councils, government departments and private clients. I provide expert advice, testimony and evidence to the Land and Environment Court of NSW in various classes of litigation. I have appeared in over 200 cases and made submissions to several Commissions of Inquiry. I have been the principal consultant for over 500 consultancies concerning the visual impacts and landscape heritage area of expertise during the last ten years.

At the University of Sydney I had the responsibility for teaching and research in my areas of expertise, which are visual perception and cognition, aesthetic assessment, landscape assessment, interpretation of heritage items and places and cultural transformations of environments. I taught both undergraduate and postgraduate students in these areas, giving specialised elective courses in visual and aesthetic assessment. I continue to supervise postgraduate research students undertaking PhD and Masters degree academic research in the area of heritage conservation and Environment Behaviour Studies (EBS). The latter field is based around empirical research into human aspects of the built environment, in particular, in my area of expertise, aspects of visual perception, landscape preference and environmental cognition.

I have had a number of empirical academic research papers on landscape perception and preference, landscape aesthetics and heritage conservation published in international journals.

My CV can be viewed on my website at www.richardlamb.com.au at the People tab. A summary in regard to experience with heritage and visual impact assessment is attached at Appendix 3.

Executive Summary

- The site is located at the edge of the historic planned private town, a relatively intact example of a Darling era plan based on a strict grid alignment, with the primary and widest streets being aligned east-west and the secondary streets north-south.
- The eastern urban edge of Morpeth has, since soon after the town's establishment, been defined by Edward Street. This is one of the original secondary north-south aligned streets as shown in the original town plan of circa 1834 and the main route into and out of Morpeth to the south east.
- Historic themes and processes such as changes in technology, siltation and later regulation of the river, rise of irrigated agriculture economy, population drift to the city, decline of rural industry and pressure for heritage tourism has influenced but had little negative impact on the principles governing the settlement pattern and urban form of the town.
- In an elevated position on the rural outskirts of Morpeth, the subject site is highly visible from south approaches. The site is immediately apparent in the context of heritage items and the underlying wider historical context of Morpeth.
- Brisbane Fields Road, Edward Street south of Close Street and Duckenfield Road form the boundary of urban Morpeth beyond which is rural or recreational land to the east with a minimum of built form. The subject site is within this area, which is identified as part of the Rural Outskirts Precinct in the Maitland City Wide DCP.
- Despite claims to the contrary in the SoHI and Planning Proposal, there is no significant residential development in the eastern Rural Outskirts Precinct. The existing site is of recreational use, surrounded on all sides by the same use. The proposal if resulting in residential development of the site would be out of character with the Rural Outskirts Precinct.
- If the proposal if it resulted in an application such as in the Concept Plan, it might satisfy the requirements of the Maitland DCP with regard to detailing and materials of individual residences if considered in isolation. However the layout, density and predominance of attached dwellings in not considered either characteristic or consistent with the relevant guidelines.
- The planning proposal and an approved subdivision in themselves will not include significant building work but subsequent potential built form is likely to disrupt existing rural views to the east and across the site from the intersection of John Street with Edward Street, contrary to provisions in Part E, Special Precincts, Section E.3.5 in the MDCP.
- In my opinion the SoHI and the Planning Application in general substantially underestimate the importance of external views into Morpeth and into this part of Edward Street, which will be significantly altered and impacted by visual effects created by housing on the subject site, if the planning proposal is accepted.
- Residential development of the subject site would also be out of character and prominent in views from the streets and rural approaches from the east and south and in views from adjacent recreational land, including close views.

- The subject site has never been residential and has always been part of the rural fringe of Morpeth in the context of recreational land resumed in 1883 for that purpose. The recent use of the site for private recreation (now defunct) was generally consistent with the historic origins of the place and the dominant recreational use of surrounding land.
- If the indicative concept plan submitted with the Planning Proposal was a guide to a potential future application for residential development on the site, this kind of outcome and subdivision design is inconsistent with and unresponsive to the residential settlement pattern, subdivision planning and to the underlying values of the wider Heritage Conservation Area of Morpeth.
- MDCP residential precinct design controls apply to residential development opposite the site along the western side of Edward Street to ensure that the streetscape character of the street has development in a style and manner appropriate to Morpeth. Development as shown in the indicative subdivision plan would contradict the established settlement pattern and does not respond to or address Edward Street in line with the prevailing streetscape character.
- Notwithstanding the fabric of the site is not of heritage significance, this is not the end of the question as to whether residential development of the land could have impacts on heritage values. The site is of heritage significance, as is the entire Morpeth context in which it exists. Therefore impacts on the values of the place cannot be thought of as confined to the site and immediate locality.
- Many individual heritage items are identified within schedule 5 part 2 of the MLEP. I note that no individual items exist within the subject site but that the entire site sits within the Heritage Conservation Area of Morpeth Town.
- The SoHI is part of a larger document which although it is titled Statement of Heritage Impact is a Heritage Assessment of which the SoHI is a small part. The Historical Context section is competent and informative and requires no comment.
- The Physical Condition and Context section at Pages 25-39 contains a series of photographs of the site, but no analysis exists of the built context outside the site in Edward Street or Duckenfield Road, in both of which there are views of the existing site.
- The Surrounding Context described in Section 3.5 concentrates on the built environment and does not acknowledge that the site is effectively surrounded by land for public recreation or uses ancillary to it. The description of the built context appears intent on minimising reference to or significance of the heritage values evident in the immediate locality and adjacent streets to which the site is exposed.
- Section 4 is an assesment of Heritage Significance of the subject site, following the guidance in J S Kerr's *The Conservation Plan* and assessing the significance of the site against the heritage criteria of the NSW Heritage System. It is well argued. I agree that the item itself (the former Bowling Club) is of little heritage significance.
- Rezoning of the site would not have physical impacts on individual items of heritage significance listed in the LEP. However the site itself has a history of significance and is surrounded on all sides by land with a long history of recreational uses. An option for adaptively re-using the site would be to put it to an historically more relevant use than changing it to a use with no historical precedent, such as housing.

- I found no close consideration of the heritage impacts of alternative uses for the site in the Heritage Assessment, as is required in the Questions to be Answered in a SoHI in the Heritage Manual as endorsed by the Office of Environment and Heritage.
- Section 5 is in my opinion given too much weight in a SoHI as it concerns discussion of the merits of works for a hypothetical design for the site, if the planning proposal is accepted. It is actually a submission about the claimed merits of the indicative concept plan and it pre-empts the later findings of the SoHI.
- Section 5 is predicated on the same hypothetical discussion about forms of development that could be permissible with consent in the existing zone. The argument being put is that development of the site under the R1 General Residential zoning would produce a better outcome than implementation of a consent for any of the uses permissible under the existing zoning. It is not convincing for reasons explained in more detail in this report.
- Section 6, Compatibility of Proposed Works with Maitland City-Wide Development Control Plan 2011, is out of place in the SoHI in my opinion as it is primarily a summary of material in the Planning Proposal. As there is in fact no application for works associated with the planning proposal, a great deal of the content of Section 6.0 is irrelevant.
- I disagree with many statement regarding impacts on streetscape, views and heritage impacts in Sections 5 and 6. Specific comments are detailed later in this report.
- The Actual SoHI is in Section 7 of the EJE document. It does not answer the requisite questions in the Heritage Manual. It is a narrative, which repeats many of the statements already made in other parts of the Heritage Assessment as support for the draft Concept Plan.
- An analysis of the site against the MUSS shows that the site is not identified for consideration as a residential urban infill site. In addition, it does not respond to constraints of heritage factors or location context appropriately.
- Part 5.1.3 of the strategy states that in all cases investigation and development of land should be on the basis that the highest priority be given to development on existing vacant land which is currently zoned for residential, large lot residential or employment purposes. The site does not qualify for consideration in this basis.
- The SoHI does not adequately address the visual effects and impacts of the proposal with regard to the MMP and the importance to be given to the conservation of the existing character of Morpeth, for economic and heritage tourism reasons etc.
- In my opinion the SoHI does not demonstrate that the potential impacts of rezoning of the subject site would not lead to significant impacts on visual and associated heritage values.

2.0 Purpose of Report

The purpose of this report is to provide an independent analytical review of the Statement of Heritage Impact Statement (SoHI) prepared by EJE Heritage in 2014 and in particular to assess it in relation to Urban Infill and Extension Criteria as set out in Attachment 1 of the Maitland Urban Settlement Strategy (MUSS). In undertaking this review it was also necessary to review the Planning Proposal before Council.

My report provides a summary in relation to the adequacy of the methodology followed in SoHI and assessment of whether fundamental issues have been analysed and considered particularly in relation to the relevant strategic planning and statutory framework which relates to the site and to the wider Morpeth Heritage Conservation Area.

2.1 Planning Proposal

I understand that the planning proposal is to re zone land from RE2 private Recreation to R1 General Residential and an indicative subdivision plan showing 29 units in a community title arrangement has been prepared by Vault Design. I note that the cover of the supporting Planning Proposal prepared by Morpeth Land Pty Ltd states that the proposal is in respect of a "request for Amendment to the Maitland Local Environmental Plan 2011".

I note further that the planning proposal also requests that the minimum lot size be amended ie. LEP Lot Size Map Sheet LSZ-006 to apply a minimum lot size of 450m² for the subdivision of land. Further, the Planning Proposal states in section 4.1:

It is however intended to lodge a combined rezoning and development application for an integrated residential housing development on the site to enable consideration of the site and the proposed development.

We have commented throughout on the potential effects of the proposed development (planning proposal to re zone the land) and also where appropriate commented on the potential development of up to 29 single, double and attached residential units across the site, as an indication of what might form a future application.

3.0 Documents Reviewed

- Statement of Heritage Impact (SoHI) prepared by EJE Heritage in 2014
- Maitland Urban Settlement Strategy 2012 (MUSS)
- Morpeth Management Plan 2000 (MMP)
- Morpeth Development Control Plan 2011 (MDCP) for the Morpeth Heritage Conservation Area
- Maitland Local Environmental Plan 2011 (MLEP)
- Planning Proposal for rezoning prepared by Morpeth Land Company Pty Ltd in December May 2014 (the Proposal).

4.0 Site and Historical Context

I provide this brief historical summary as part of my review of relevant supporting studies which has contributed to and informed the conclusions and recommendations in this report.

The subject site is located at 24 Edward Street on its eastern side and at the eastern edge of the Historic Town of Morpeth. The site is described as Lot 72 in DP755205.

The land was previously used by Morpeth Bowling Club and is surrounded on all sides by public land including the Morpeth Common and Sportsground.

4.1.1 Site and Streetscape Character

The subject site is located along Edward Street on its eastern and lower side. The site is immediately surrounded by public land being the Ray Lawler Reserve to the north and Morpeth Sports Ground, carpark and ancillary buildings to the south. The landscape falls in elevation east of the site and is characterised by wooded to open rural land.

Due to its most recent previous use the site is characterised by open level grass areas previously used as bowling greens and sloped areas linking the greens to adjacent fields and to the former bowling clubhouse. The site falls in elevation steeply along its northern and eastern boundary and is devoid of trees and vegetation except for three relatively immature Moreton Bay Fig trees located adjacent to the Edward Street boundary of the site.

The eastern side of Edward Street in the vicinity of the site includes rural land, designed and planted wind rows and specimen plantings of vegetation, wetlands, expansive area of mown and manicured grassland of the Common with scattered trees, playing fields, cricket/football oval and low scale facilities buildings. A small grandstand, a local heritage item, is adjacent to the oval.

Brisbane Fields Road, Edward Street south of Close Street and Duckenfield Road form the boundary of urban Morpeth beyond which is rural or recreational land to the east with a minimum of built form as low scale widely separated individual buildings, where any are present at all. The subject site is within this area, which is identified as part of the Rural Outskirts Precinct in the Maitland City Wide DCP.

This precinct is different to the western side of Edward Street which is characterised low density residential character along the street itself. It is one of the original north-south aligned secondary width roads and like Tank Street to the west, was designed to terminate the town grid.

4.1.2 Early ownership

Originally known as Green Hill or 'Illulaung' the site of Morpeth was granted to Lt Edward Charles Close in 1821. By 1823 a small settlement was established at the site and by 1834 the official layout of the township was established and allotments of Close's grant released for sale and lease. Morpeth thereby began its life as a private town. It wasn't until 1920 that all of Close's land was finally sold off.

The influence of Close and his vision for the layout of the town and disposition of land uses remains until today. The original geometry of the town and the spatial influence of the ideology of the place as a centre for commerce and also of a tenanted rural landscape can still be discerned.

4.1.3 Development Process

The original layout of the town followed two major influences, that of the river and of Close's theories of town planning (Figure 1). The figure gives an indication of the effect of the river alignment on the location of the first street, which became Swan Street. Swan Street is one of the bounding streets that was intended to contain Morpeth. The early subdivision of land followed access to Morpeth from the river and from the east (Maitland) and west (Patricks Plains). Close's first plan appears to have been drawn by a surveyor who had little understanding of the appropriate scale of the lots which soon were found to be too large, but who understood the fashion for the geometry of town plans laid out by Close and others. The subdivision plan is similar in layout to parts of other settlements established in the Governor Darling era of planning (eg. Newcastle, Bolwarra, parts of East Maitland, Forbes, Braidwood, etc.). Darling served as a military secretary in America and the West Indies and may have been influenced by the same theories of colonial planning as other contemporaries of Close, such as Brisbane and Dangar.

The 1830's saw Morpeth develop commercially as well as residentially. Morpeth originally developed along Swan, Tank, High, Northumberland and Robert Streets in a generally two block grid pattern (Figure 2). The land along the river front developed beyond Robert and Tank Streets at the same time. Perhaps because it began as Close's private town, Morpeth did not develop a formal civic centre and is not organised around public open space. Civic buildings were added to the town later, as infill buildings among already established residential and commercial streets. There was no early provision for recreation areas.

The original subdivision followed a pattern of dividing each block into seven, with the ends each being divided into three allotments facing the side streets and the remainder divided into two allotments, each facing the streets to the north or south, totalling sixteen allotments per block. Close Street is essentially a lane splitting the block pattern along the rear boundaries of lots facing Swan and High Street and requiring the subdivision of the central lot on the secondary north-south streets. It is indicated on an auctioneer's advertisement circa 1841 when the Hunters River Auction Company auctioned 14 allotments in January that year. The 1849 plan of Morpeth does not show Close Street in existence at this time and indeed

it may not have been established until much later. The subdivision of larger lots between primary streets with laneways that bisected the blocks reflected the pressure for commercial development and subdivision of land into more practically sized lots near the commercial area of Swan Street and the river, as well as the need for rear access to commercial properties. The development of Close Street saw the beginning of the re-interpretation of the original subdivision pattern and also of a fashion in subdivision that featured bisecting laneways as the third level of a hierarchical street pattern (Figure 3). This fashion lasted into the mid 20th century in many country towns that experienced boom growth in the inter-war period.

A clear street hierarchy thus exists in Morpeth (see Figure 3). The development pattern and original street layout by Close was simpler than the pattern now in existence. Later subdivision and division of blocks longitudinally eventually led to a series of tertiary streets or lanes which further subdivided the underlying pattern of primary and secondary streets. Primary streets run east west, secondary north south and the tertiary streets and lanes run predominantly, but not exclusively, east west. Figure 3 illustrates the relationship between each street hierarchy type. Figure 3 shows the complete existing street hierarchy of Morpeth including the bounding streets, including Edward Street. Figure 5 is a representation of the subdivision pattern under the street grid pattern that exists today.

4.1.4 Relevance of the Historical Context of Morpeth

The urban contemporary context of Morpeth is based on the framework of the past. The framework is important as a means to inform future planning, design and heritage conservation. The urban context in Morpeth includes elements of the following; Architectural quality, detail and character, heritage conservation areas, character neighbourhood quality, streetscape and public domain design, cultural patterns and development, precincts, localities, neighborhoods and cultural places.

Morpeth's Character has been derived from ongoing settlement processes from its establishment in the early and mid 19th Century. This includes overlays of different historic periods of development onto the physical and biological landscape such as constraints on development by flooding, growth of rail and road infrastructure, demands for space for residential development, industrial land and commercial activities. Changes in technology, siltation and later regulation of the river, rise of irrigated agriculture economy, population drift to the city, decline of rural industry and pressure for heritage tourism has influenced but had little impact on the principles of development and settlement of the town.

The physical and biological constraints and opportunities for development and the process of historical development in Morpeth provide an intact and legible example of the typical development of private towns throughout NSW. Its history can be understood in relation to a small number of distinct districts that retain original character. A schematic diagram of the existing settlement pattern of Morpeth is shown on Figure 4.

In my opinion these attributes should be considered in relation to the merits of any rezoning application and urban infill proposal in this part of Morpeth, in addition to MUSS criteria.



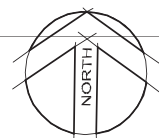
Map 1: Immediate Viewing Locations



Approximate location of subject site



Viewing Location (refer to Photographic Figures)



Not to Scale



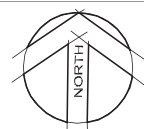
Map 2: Wider Visual Catchment Viewing Locations



Approximate location of subject site



Viewing Location (refer to Photographic Figures)



Not to Scale

5.0 Review of Supplementary Information and Studies where relevant to the Statement of Heritage Impact

5.1 Morpeth Local Environmental Plan

Many individual heritage items are identified within schedule 5 part 2 of the MLEP. I note that no individual items exist within the subject site but that the entire site sits within the Heritage Conservation Area of Morpeth Town. The Morpeth Grandstand (item 191) is located immediately adjacent and south of the site, which is the cricket oval Grandstand. I agree with the SoHI that the fabric of the former Bowling Club is of little heritage significance. Rezoning of the site would not have physical impacts on individual items of heritage significance listed in the LEP.

5.2 Maitland City Wide Development Control Plan (MDCP)

Part E Special Precincts

In accordance with the DCP Part E special precincts any proposed development in Morpeth is required to be considered sensitively in the context of its wider heritage setting and values.

The DCP includes the subject site within the Rural Outskirts Precinct (contrary to assertions made at page 7 of the Planning Proposal) which includes recreational space and rural plains that surround the Morpeth. These are included below;

Rural Outskirts Precinct

This precinct is characterised by open rural areas and open pasture, low scale isolated buildings and rural dwellings.

The specific characteristics of this precinct can be summarised by the following:

- *Rural surrounds which features barns and farm houses and evidence of floods.*
- *Open farming plains that provide clear views to the township of Morpeth from surrounding areas.*
- *Incorporates the floodplains and meandering Hunter River*

The existing site is a recreational use, surrounded on all sides by the same use. The proposal if resulting in residential development of the site would be out of character with the Rural Outskirts Precinct.

The Residential Special Precinct is defined by the western side of Edward Street and is located directly opposite the site. Residential development permissible along the western side of Edward Street opposite the site is subject to the Residential Precinct General Design Guidelines. The proposal if it resulted in an application such as in the Concept Plan, might satisfy the requirements with regard to detailing and materials of individual residences if considered in isolation. However the layout, density and predominance of attached dwellings is not considered either characteristic or consistent with the guidelines.



Figure 1 Morpeth circa 1860



Issues which relate to heritage, views, visual character, streetscape character, siting, design, form and scale for each precinct are of relevance and it is important to consider the planning proposal and the SoHI in terms of the visual character and context of both the Rural Outskirts Precinct as well as the adjacent Special Precinct.

Section E.3.5 Significant View Corridors from within the Town to Rural Surrounds

Morpeth is elevated above surrounding agricultural land and river flats and has a very strong connection to these rural surrounds. Views along streets, gaps between buildings and open land at the axis of streets are of particular significance. Significant views and view corridors have been identified on the map below.

Aim

The relationship between the town and the rural surrounds should be maintained through the protection of these significant view corridors.

Requirements

1 Views identified on the View Corridors – Map A (Morpeth) are protected as view corridors within which there should be no new development.

2 Where view corridors are identified between buildings along Swan Street, these gaps should be maintained and not obstructed by new development.

3 There should be no building work or tall plantings undertaken at street intersections where existing rural views would be interrupted.

Comment

The SoHI addresses views in section 6.1 of the report. As the views shown in the MDCP view corridors map do not specifically cover the site, all requirements are ignored. In my opinion Requirement 3 should nevertheless be addressed as potential built form is likely to disrupt existing rural views to the east and across the site from the intersection of John Street with Edward Street.

Section E.3.5 Views towards Town from approach Roads and Outlying Areas.

Aim

To Maintain the setting of the village within an open rural landscape.

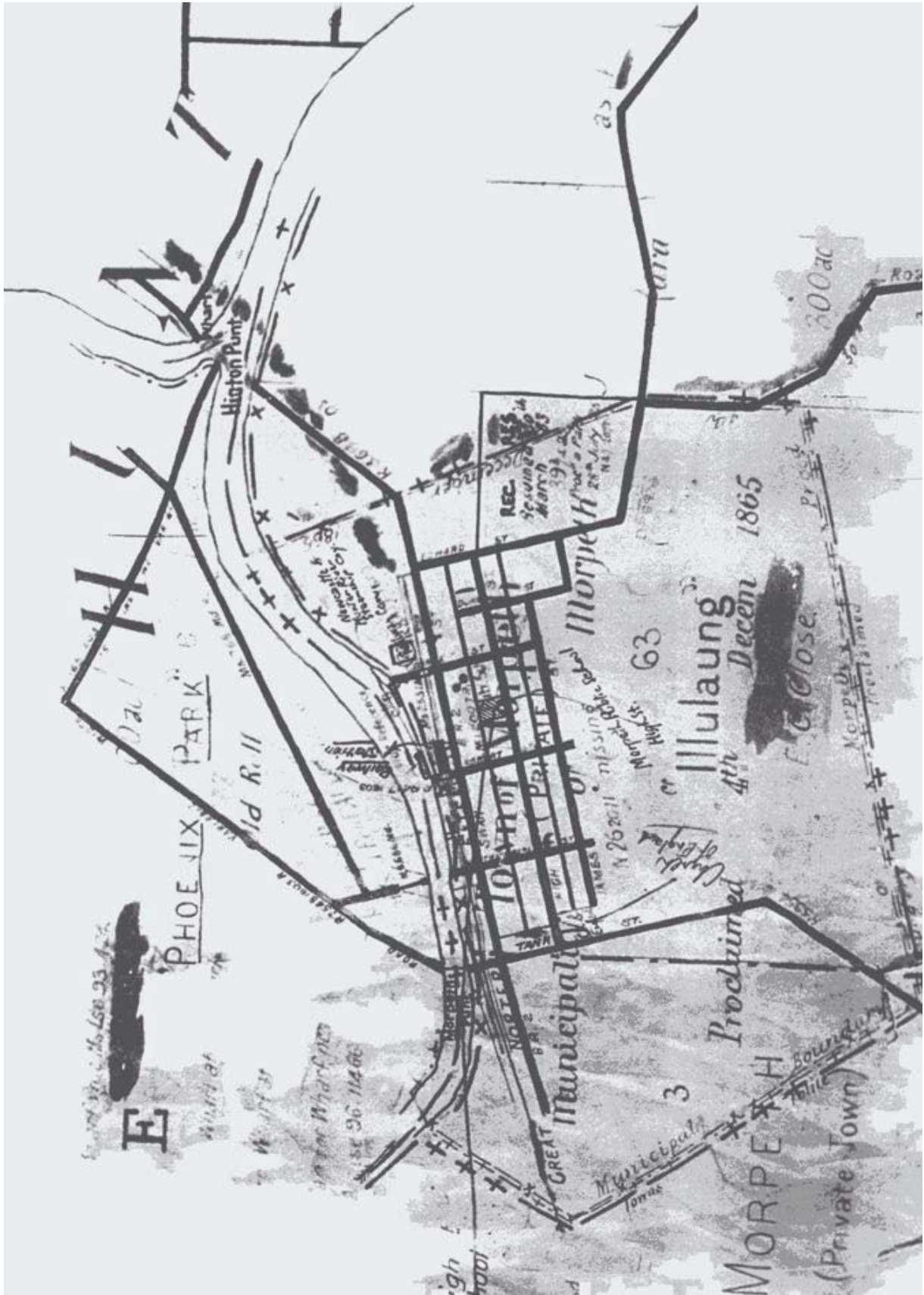


Figure 2 Morpeth parish map circa 1865 with later annotations including boundary of the Common, which includes the subject site, noted as resumed in 1883

Requirements

- (1) There should be no non-rural (ie residential or commercial) development on surrounding rural and vacant land. Areas directly adjoining the urban township are affected by this policy and include, but are not limited to the vacant land on the corner of Tank and Close Street, allotments on the southern edge of the town ship, allotments to the east of Edward Street, and holdings on the northern side of the River.*
- (2) Reference should be made to the View Corridors - Map A (Morpeth) showing view corridors towards the town which should not be obstructed by new development.*
- (3) Planting and enhancement of the 'green belt' approaches to Morpeth is encouraged.*
- (4) The approaches to the township should remain informal in character avoiding formal footpaths along the primary access routes ie Metford Rd and Fig Tree Hill.*

Comment

Section 6.2 of the SoHI the report suggests that all the requirements are not relevant. The planning proposal and an approved subdivision in themselves will not include significant building work but subsequent potential built form is likely to disrupt existing rural views to the east and across the site from the intersection of John Street with Edward Street. Furthermore the site is subject to the MMP and is required to be considered in relation to the overarching principles for the management of Morpeth as a Heritage Conservation Area, as detailed in section 5.3 below.

In this regard Requirement 1 should be addressed. The site is located in an elevated location and highly visually exposed to approach roads into Morpeth from the south. The site extends close to the main intersection at Duckenfield Road, Macfarlanes Road and Edward Street and would form an expansive component of the composition of views entering the town from this direction. The subject site directly adjoins the existing urban township and its inherent historic settlement pattern and is located east of Edward Street. Despite claims to the contrary in various places in the SoHI, there is no significant presence of housing east of Edward Street south of the intersection with Close Street.

In my opinion the SoHI and the Planning Application in general grossly underestimate the importance of external views into Morpeth and into this part of Edward Street, which will be significantly altered and impacted by visual effects created by housing on the subject site, if the planning proposal is accepted.

5.3 Morpeth Management Plan May 2000

A summary of relevant Overarching Principles for management of Morpeth include the following;

- Understanding and sustaining Morpeth's Heritage and Character
- Protecting local amenity, village character and community life.

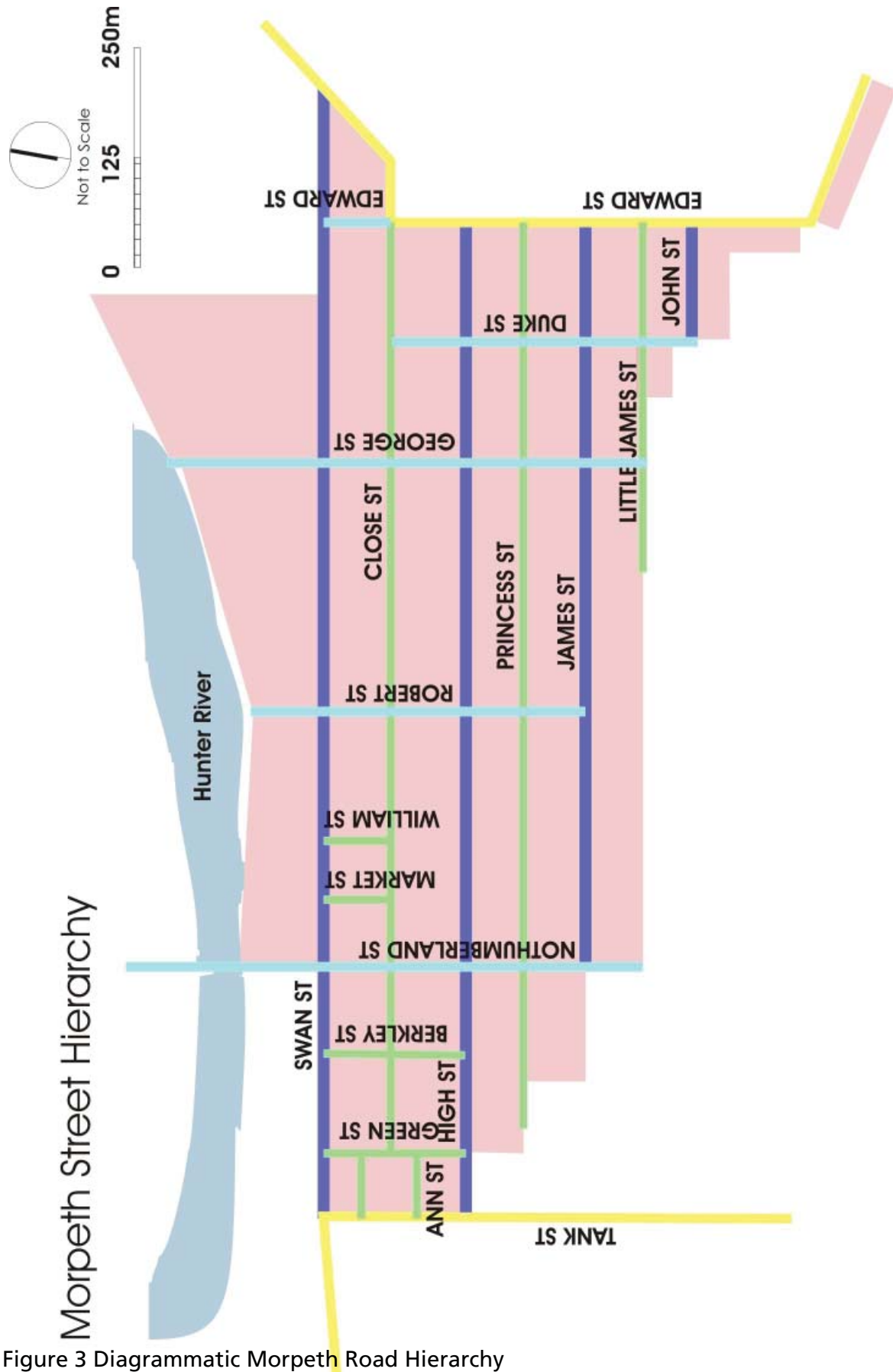


Figure 3 Diagrammatic Morpeth Road Hierarchy

- Tourism business and activities respecting local concerns and amenity
- Recognising the interdependence (mutual benefits) of heritage, tourism and local business
- Providing facilities that benefit the Morpeth community and visitors
- Marketing derived from significance and facilities.

The most important and most relevant in the context of this planning proposal are Objectives 1 and 2.

Understanding and sustaining Morpeth's heritage and character including its setting and inter-relationship with the surrounding rural area, protecting its local amenity and significance by retaining places, features and attributes that contribute to the significance and amenity are critical to Morpeth's long term sustainability.

Comment

The planning proposal and potential development does not contribute to the long term sustainability of Morpeth's heritage or character or the interrelationship with surrounding rural lands.

The proposed development is a juxtaposition to the existing edge of town and underlying historic grid subdivision planning that is out of place and contrary to the predominant settlement pattern. The indicative development plan does not relate to, reflect or acknowledge the surrounding visual context or physical grid pattern of the residential special precinct.

Edward Street is one of the original secondary streets within the planned 'Darling Style' Morpeth plan. Other residential development along it to the north and south, irrespective of architectural age and style, contributes to the streetscape character of Edward Street, in a relatively uniform way. Buildings on lots are arranged with the front elevation to Edward Street, individual dwellings share similar front and side setbacks and display in many cases, similar architectural styles or forms of detailing which range from early to mid-19th Century.

The concept plan does not reflect these characteristics, other than in the pitched roofs a dormer windows to some of the conceptual buildings. There is no reference to the address of buildings to the street.

5.4 Maitland Urban Settlement Strategy 2012 (MUSS)

The MUSS document applies to the Maitland LGA, which is divided into three areas, Morpeth being located in the eastern sector. It is a key guiding document for the Maitland Local Environmental Plan 2011 (MLEP 2011), steering land releases and zonings for Category 1 lands and investigation areas for preferred large lot residential development. It also guides development principles for urban infill sites around identified centres and specific sites identified for urban extension or infill potential as mapped.

The Eastern Sector is constrained in terms of potential development due to flood prone land and remnant vegetation. It comprises the entire area east of the floodplain corridor starting at East Maitland, No Category 1 or 2 residential development or preliminary investigation areas are shown in relation to the town of Morpeth according to Figure 6 at Page 42, Eastern

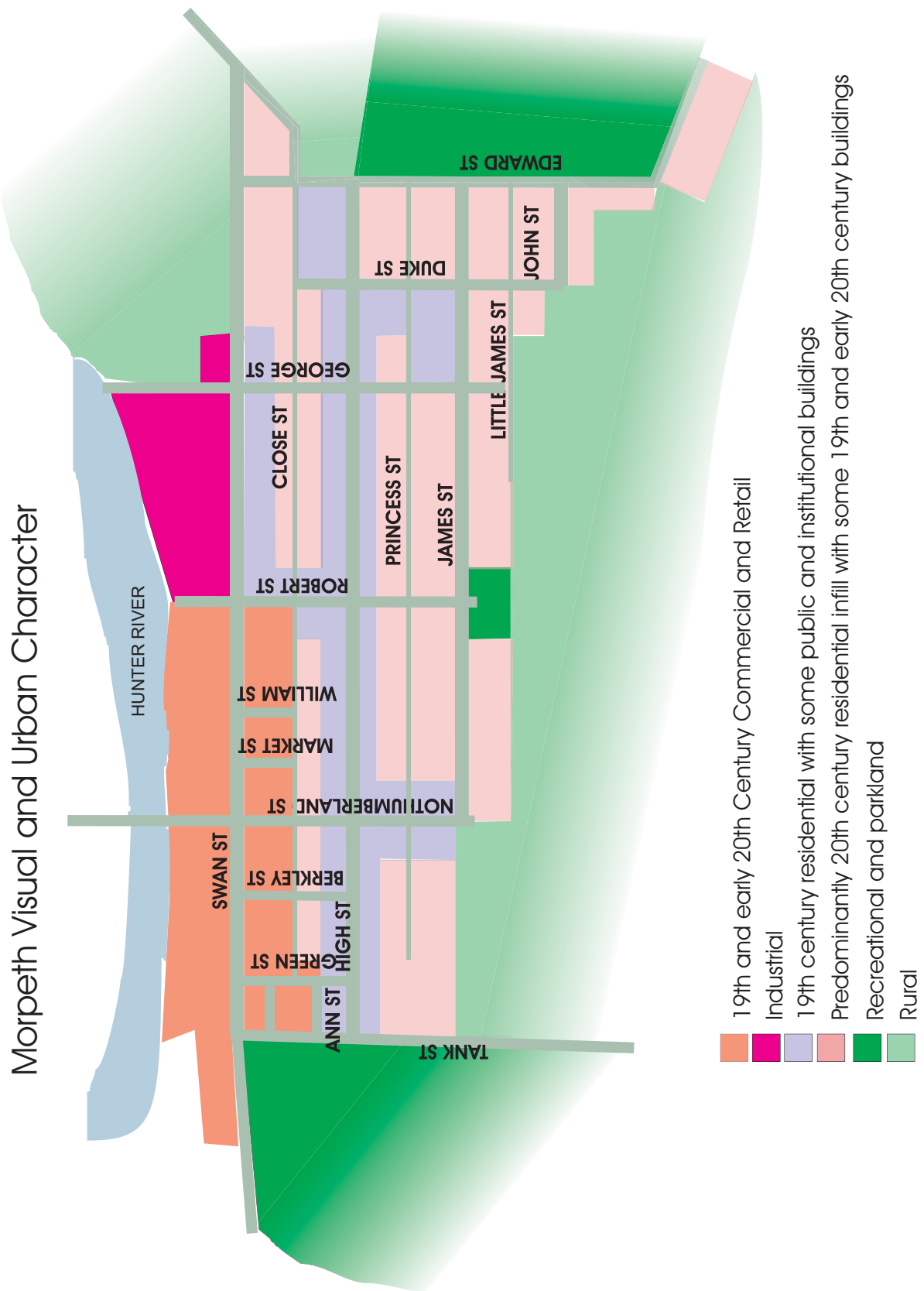


Figure 4 Schematic visual and urban character of Morpeth

Sector. However the report does acknowledge that Morpeth contains vacant land. The closest large investigation area and nominated residential infill areas are south of Morpeth.

This sector is an amalgamation of the previous eastern, south-eastern and north-eastern districts. The new sector contains the residential areas of East Maitland, Morpeth, Raworth, Tenambit, Ashtonfield, Metford, Thornton, Woodberry and Chisholm. It has the largest residential population along with the greatest development activity including lot registrations and dwelling constructions of all sectors in the MUSS and clearly shows the focus on housing east of Central Maitland.

The site is not identified for consideration as an urban infill site under the MUSS on the above basis.

5.4.1 Urban Infill and Extension Criteria

I have reviewed the MUSS document and in particular attachment 1 to ascertain whether or not the proposed development (planning proposal) adequately address the criteria in relation to heritage issues. The criteria include; Need, Opportunities, Constraints, Location Context and Potential Impacts. Where relevant we have addressed individual criterion these below.

Although the issue of need is address by other in the planning application I note that according to Table 9 Land Supply in the Eastern Sector, land already zoned for R1 residential has a lot yield of 5570 which will appears to meet the demand requirements within the next 25 years. In addition Part 5.1.3 of the strategy states that in all cases investigation and development of land should be on the basis that the highest priority be given to development on existing vacant land which is currently zoned for residential, large lot residential or employment purposes. The site does not qualify for consideration in this basis.

Constraints

In my opinion the proposed development and potential built form within a subdivision (as shown in the indicative subdivision plan) does not respond appropriately to heritage factors.

The site is located within the rural lands precinct and is surrounding by residential development and public recreation open space. The residential precinct immediately west of the site along Edward Street follows an obvious and strict historical subdivision pattern. This pattern generates repetitive visual forms and spatial relationships between them. Such forms, features and spatial relationships form the basis of the streetscape character which is wholly ignored by the proposed development. The heritage context of Edward Street and the wider context of Morpeth provide a constraint to residential development on this site.

Location Context

In my opinion the proposed development and potential built form within a subdivision (as shown in the indicative subdivision plan) does not respond appropriately to its relationship with surrounding land uses.

The site is located within the rural lands precinct and is adjacent to residential development and enclosed within public recreation open space on three sides. The residential precinct



Figure 5 Subdivision pattern of Morpeth circa 2010

immediately west of the site along Edward Street follows an obvious and strict historical subdivision pattern. This pattern generates repetitive visual character and rhythm of urban forms and spatial relationships between them. Such forms, features and spatial relationships form the basis of the streetscape character which is fundamentally ignored by the concept for the proposal.

Further, the elevation and town edge location mean that the site highly exposed to external views. Potential development on the site will contribute built form and features to the composition of the southern gateway views towards Morpeth. In my opinion the proposed development cannot meet this criterion.

Potential Impacts

The MUSS defines Morpeth as a destination tourist centre which differentiates it from the other local centres within the LGA.

(Its) "historic character is one of its most prominent and defining features and the main attracter for tourists"

In my opinion the role and function of Morpeth as a local centre and its status as a heritage town tourist destination will not be strengthened by this type of spot rezoning for residential purposes, particularly given the external visibility of the site and the absence of an evident relationship to the underlying historic subdivision pattern of Morpeth and Edward Street.

In this regard the importance the town and its immediate visual and historic context should not be underestimated. The town relies heavily on the tourist economy to ensure that vital community services and the other economic wellbeing of the town is maintained. Physical and visual changes to the existing integrity of Morpeth must be considered in a conservative way.

In my opinion, the proposal does not responds appropriately to the historic character and defining features of Morpeth and would have unacceptable impacts.

5.5 Morpeth Planning Proposal

I have reviewed the Morpeth Planning Proposal prepared by Morpeth Land Company Pty Ltd in December 2014 which in my opinion includes several contradictions and errors. Where relevant to the adequacy of Heritage Impacts assessment we have provided commentary below;

Section 4 of the document states the following;

The site does not form part of the rural surrounds, the agricultural land, or the open space network. As such it is not considered to represent an expansion of the urban footprint outside of the defined boundaries of the town.

Comment

On the contrary, the site is located in the Rural Outskirts Special Precinct of Morpeth which has been defined by its predominant visual and land use characteristics. The site is visually isolated, mostly characterised by open turfed areas and is surrounded by virtually all of Morpeth's open space network and recreational space, including the historic cricket ground and grandstand, playing fields and the Common. The site is opposite existing residential development located along the west side of Edward Street, a street which was planned to partly define the eastern edge of the historic township as shown on the original town plans. In my opinion the proposed development can be considered precisely as an expansion of the urban footprint that would be outside the defined boundaries of the town.

The proposal can be justified as the minor extension and urban infill of an established residential area, within the defined boundaries of the Morpeth township.

Comment

This comment directly contradicts the statement above.

The eastern edge of Morpeth does not comprise a defined edge but rather a mix of farming land, residential housing, and open space, primarily determined by constraints such as flooding. The site does not form part of the visual corridor which defines the 'rural outskirts' of Morpeth.

Comment

I disagree with this statement for reasons set out in my report above. I consider that there is ample evidence that Edward Street represented the planned edge of Morpeth Town. No visual corridor is clearly defined in relation to the rural outskirts of Morpeth other than requirements in relation to views, which I have addressed in section 5.2 above.

The site is not directly visible from the sportsground due to the existing clubhouse building and the orientation of the facilities, except from the south-east within the site itself. The site is not visible from the Morpeth Common grounds to the north and are limited from the east due to the existing vegetation and the topography of the land. The site is not visible from the approach to the town along McFarlanes Road from the south, with limited views from the approach along Duckenfield Road from the east. A series of photos of the view corridors are provided in Attachment C.

Comment

Photographs in attachment C show that the site will be clearly visible from the southern approach roads south including Duckenfield Road, Macfarlanes Road and Edward Street. Photographs taken by RLA confirm that this is the case. Other photos in appendix C are taken from locations a great distance from the site making the site more difficult to see.



The subject site is clearly visible from Edward Street and from its intersection with John Street, photos of which are not included in the Appendix C but are included in Appendix E, Site Context. Additional photographs taken by RLA around the site confirm that it has high visual exposure within an immediate and wider visual catchment.

The Edward Street frontage of the site is dominated by the established mature fig trees along the boundary of the site, which restrict views into the site itself. The remaining part of the site is set back from Edward Street behind an informal gravel car park. This boundary will be fenced to create an attractive buffer between the car park and the site and landscaping within the site will further reduce any visual impacts.

Comment

The Edward Street frontage to the site is not dominated by Fig trees. Three Fig trees are intermittently spaced along the Edward Street frontage of the site. One would be removed as part of the proposed development to make way for the entrance driveway. Wide and expansive views from Edward Street to the east are available from within the public and private domain in the vicinity of the site.

The development proposal for the site aims for the adaptive re-use of the existing clubhouse building, in conjunction with the introduction of quality unobtrusive new buildings within the site. The streetscape policy encourages designs that respond to the layout of a particular setting rather than a set layout applied throughout the town.

Comment

In my opinion the creation of 450m² minimum lots sizes resulting in an increased density of development is not only a significant departure from the existing settlement pattern evident in Edward Street but is certainly not unobtrusive. The statement confirms what appears to be a deliberate intention to ignore the established underlying historic settlement pattern of Morpeth.

6.0 Review of Methodology for the Statement of Heritage Impact

The Heritage Impact Statement (HIS) is one part of a Heritage Assessment prepared by EJE Heritage to support rezoning for residential purposes of the former Morpeth Bowling Club at 24 Edward Street. It is stated that the Heritage Assessment has been undertaken in accordance with the NSW Heritage Office publications *Assessing Heritage Significance* and *Statements of Heritage Impact* and the *Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance 2013*.

A significant part of the Heritage Assessment (Pages 6-24) is taken up by an Historical Context section. This is compatible with my own structural analysis of the history and development of Morpeth in many respects. It details the history of what has been described as the Morpeth Common, the land for which was resumed by the NSW Government in 1883, a part of which is now occupied by the former Bowling Club site, subject of the planning proposal before Council.

With the exception of the planted areas of the Common, the design of which was overseen in 1886 by an influential director of the Royal Botanic Gardens, Charles Moore, the remainder of the land resumed for public recreation in 1883 has been used for a variety of sporting and recreational purposes. Golf and now lawn bowling are two that are now no longer evident.

The Historical Context section is followed by a Physical Condition and Context section at Pages 25-39, with a series of photographs of the site, but no similar analysis exists of the built context outside the site in Edward Street or Duckenfield Road, in both of which there are views of the existing site.

The Surrounding Context described in Section 3.5 concentrates on the built environment and does not acknowledge that the site is effectively surrounded by land for public recreation or uses ancillary to it. The description of the built context appears intent on minimising reference to or significance of the heritage values evident in the immediate locality and adjacent streets to which the site is exposed.

Section 4 is an assessment of Heritage Significance of the subject site, following the guidance in J S Kerr's *The Conservation Plan* and assessing the significance of the site against the heritage criteria of the NSW Heritage System. No objections are raised to the analysis of significance (4.1 at Pages 42-43). I agree that the item itself (the former Bowling Club) is of little heritage significance.

However, in my opinion that is not the end of the question as to whether the use of the site as proposed in the planning proposal could have impacts on heritage values. I agree that the site and redundant structures are of little value. However the site itself has a history of some significance and is surrounded on all sides by land with a long history of recreational uses.. An option for adaptively re-using the site would be to put it to an historically more relevant use such as a recreational use, rather than changing it to a use with no historical precedent, such as housing. Even the former Common Keeper's Cottage was directly associated with the historical use of the site for recreational purposes. I found no close consideration of the heritage impacts of alternative uses for the site in the Heritage Assessment, as is required in the Questions to be Answered in a SoHI in the Heritage Manual as endorsed by the Office of Environment and Heritage.

In Section 5, Proposed Works are discussed. In this regard, the Heritage Assessment in my opinion departs from what is required for a SoHI, in the following way:

1. The discussion is about works that do not exist in a planning proposal. The planning proposal is for re-zoning of the land to a different use. The SoHI is to support the intended change of use, not to support a hypothetical development such as is indicated in the Concept Plan.
2. The discussion is predicated on a hypothetical discussion about forms of development that could be permissible with consent in the existing zone.
3. The argument being put is that development of the site under the R1 General Residential zoning would produce a better outcome than implementation of a consent for any of the permissible uses in the existing zone.
4. The following uses are permissible with consent:
 - a. Amusement centres; Boat launching ramps; Boat sheds; Camping grounds; Car parks; Caravan parks; Charter and tourism boating facilities; Child care centres; Community facilities; Entertainment facilities; Environmental facilities; Environmental protection works; Function centres; Hotel or motel accommodation; Information and education facilities; Jetties; Kiosks; Markets; Recreation areas; Recreation facilities (indoor); Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Respite day care centres; Restaurants or cafes; Roads; Serviced apartments; Signage; Water recreation structures; Water supply systems.
 - b. Most of these are either not feasible on the site or would be likely to be of a built form that is unacceptable in the context, as they could not demonstrate compatibility with the historic development pattern, subdivision planning, low density, detached residential streetscapes and historic character of Morpeth.
 - c. Among potential uses rejected by the applicants as likely to be unacceptable are outdoor recreational and environmental facilities. These are uses which would be historically relevant and may be acceptable subject to appropriate planning and design.
5. Another argument that the proponent is using is that because 'residential-like' uses such as: Hotel or motel accommodation; Serviced apartments and Caravan parks are permitted (with consent) in the zone, then proposing an equivalent built form, albeit requiring both a zoning change and a change to minimum lot size, is acceptable.
 - a. In my opinion this argument is also flawed. While such 'residential-like' uses might be proposed, consent would require that such uses appropriately respond to and are compatible with such features as:
 - i. minimal presence of built form east of Edward Street;
 - ii. absence of significant residential development east of Edward Street;
 - iii. low density, detached residential character;
 - iv. small scale, low bulk, detached residential built form;
 - v. historical grid, street and lot layout characteristic of historic Morpeth;
6. It is unlikely that uses such as Serviced apartments or Hotel or motel accommodation would

be granted consent as they could not be compatible with the features above. In that context, little weight should be given to the argument that residential use of the site is superior to these permissible uses, as the Concept Plan is not responsive to the constraints above.

7. The merits of the argument is also questionable, since it is untested in the absence of an application. For example, recreational use, including outdoor recreation, was rejected by the applicant as likely to be unacceptable as regards environmental impacts. In my opinion an option for adaptively re-using the site for recreational use would be to put it to an historically more relevant use than changing it to a use with no significant historical precedent, such as housing, as proposed.
8. The argument being put also does not acknowledge the heritage and cultural values of the setting as significant constraints.
9. The discussion is dismissive of the potential impact of residential housing on the adjacent Morpeth context, including public recreation areas on three sides.
10. A number of the statements made are of questionable validity, for example:

The development of the land for residential purposes is compatible with the surrounding built form.

Comment:

The site has never been residential, always been reserved for recreational purposes and is isolated from adjacent residential development by a parking area and is surrounded on three sides by public open space. While there was until recently a Common Keeper's Cottage on the site, this was directly related to the maintenance of the Common and was in keeping with the minimal residential built form east of Edward Street. The Concept Plan is for a form of development totally alien to the setting, exposed to view and visible from streets that are characterised by development consistent with and compatible with the urban form of Morpeth. If the Concept Plan is the model to be followed, in my opinion it shows no substantial compatibility with the historic development pattern, subdivision planning or streetscapes character of Morpeth.

There are a number of existing buildings within a clustered footprint on and adjoining the site.

Comment:

It is not clear which buildings adjoining or on the site are in a clustered arrangement. The statement appears to be looking for an analogy to the layout in the Concept Plan to which to claim consistency. In my opinion, the layout in the Concept Plan, if it is claimed to be meritorious as a guide to future use of the site, bears no obvious relationship to the site or the adjacent context.

It is intended that the land will be developed for housing options in either the form of tourism and visitor accommodation, or, if the planning proposal is supported, for residential urban housing purposes.

Comment:

It is not clear what this statement means, but perhaps it suggests that an application to develop serviced apartments on the site is an option if the planning proposal is not supported. I have

no comment in this regard other than to state as above that the merits of such an application would have to be assessed, including the impacts on views and heritage values when and if an application is to be made. I do not see why this statement is in the SoHI.

The existing views from the surrounding residential properties are limited to the car park, the Moreton Bay fig trees, to the existing clubhouse, and the vegetation within the Morpeth Common.

Comment:

This statement appears intended to dismiss the potential for views of residential development on the site from the existing residences in the surrounding area. I disagree with this analysis on the basis of my own observations and the photographs in the Heritage Assessment report. The car park provides no screening to views into the site and neither does the existing clubhouse to any significant extent, the retention of which or otherwise is not part of the planning proposal in any event.

Page 45 of Section 5.0 of the SoHI is predominantly a planning submission, not a SoHI, other than for a summary penultimate paragraph, some statement from which I comment on, as follows:

Residential development would form part of the existing urban footprint, rather than an extension of the eastern town edge and would have not negative impacts on the Morpeth Heritage Conservation Area; nearby heritage items; the streetscape; urban and rural views; or access to Morpeth Common.

Comment:

I disagree that residential development of the site would form part of the urban footprint of Morpeth, based on my analysis of the quite strict principles that are so critical to the settlement pattern, as outlined above. The site has never been part of the urban footprint of Morpeth, even with the gradual development of the town toward the east over time. The predominant street frontage of Edward Street on the east side is rural or recreational in character. The site has been part of reserved land since 1883 and is integral to the cluster of recreational land that dominates the eastern margin of the town.

I also disagree that residential development would have no negative impacts on the Morpeth Heritage Conservation Area, the streetscape or urban views, for reasons already stated above. In my opinion a viewer of a rezoned site developed according to the Master Plan, for example in a view from the immediately adjacent oval, heritage grandstand or Duckenfield Road in the vicinity, would be confronted by an alien form of development, dominating the view. It would include some dwellings with detailing with reference to heritage precedents, arranged in an enclave, fenced off from and with its back toward the public domain. It would seem to be a gated estate in parkland.

It (residential development; my parentheses) would be consistent with the character of the surrounding development and lands uses.....

Comment:

This statement is not justified, in my opinion. The surrounding development and land uses are recreational, not residential. I consider that the SoHI is 'cherry-picking' by looking for isolated features to which it can claim to be consistent and thereby claim merit for the planning proposal.

In summary it is my opinion that Section 5 of the SoHI is out of place as it comes before the significance of the site/place is assessed, pre-empting the findings and contains many unsubstantiated statements.

The SoHI then goes on in Section 6.0 to analyse Compatibility of Proposed Works with Maitland City-Wide Development Control Plan 2011. This section contains material that is also referred to in the Planning Proposal, most of which has been addressed in other parts of this report and is not repeated here. In addition, as there is in fact no application for works associated with the planning proposal, a great deal of the content of Section 6.0 is irrelevant.

6.1 The Actual Statement of Heritage Impact (Section 7)

Although it is titled Statement of Heritage Impact, the document by EJE is actually a Heritage Assessment, which should contain and lead to the preparation of the Statement of Heritage Impact. The actual SoHI is in Section 7 at Page 55-57. There are specific guidelines and requirements for preparation of a SoHI in the Heritage Manual, which sets out not only the enquiries that are to be made, but also a series of questions to be answered in the SoHI proper. The Heritage Assessment satisfies the requirements as far as enquiries are concerned in Sections 1-4. I have commented on some of the claims made in Sections 3, 5 and 6 above.

While there is no formula for preparing a SoHI that is mandatory, in some form Section 7 in my opinion ought to contain the answers to the relevant specific questions that are required to be answered in a SoHI, as set out in the Heritage Manual.

The questions to be answered are;

How is the impact of the new development on the heritage significance of the item or area to be minimised?

Why is the development required to be adjacent to the heritage item?

How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?

How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effect?

Is the new development sympathetic to the heritage item? In what way (eg. form, siting, proportions, design)?

Will the additions visually dominate the heritage item? How has this been minimised?

Will the public, and users of the item, still be able to view and appreciate its significance?

The SoHI, instead of either being structured to, or specifically answer the questions, is instead a narrative, that repeats many of the statements already made in other parts of the Heritage Assessment as support for the draft Concept Plan. The SoHI has been pre-empted by the content of Sections 5 and 6, which are not simply a statement of what the planning proposal is, as is required for a SoHI, but a submission about the potential merits of one possible future design for the site, if the planning proposal is accepted.

It is agreed that the existing Bowling Club is of little heritage value. However in my opinion that is by no means the end question as to whether rezoning the site to R1 could lead to

impacts on heritage values. Those values are not confined to the site, for reasons outlined elsewhere in this review.

The SoHI appears to have been focussed on only the Concept Plan and has failed to consider the relationship of the site to the town of Morpeth or its heritage value and significance. The SoHI does not adequately consider the impact on the immediate or the wider visual setting, heritage or village edge visual context of the subject site, as required in the relevant strategic planning documents listed below.

I disagree with a number of statements in Section 7, the SoHI, some of which have already been addressed in relation to Sections 5 and 6, above, as they are repeated in Section 7.

The first dot point concerns the observation that there is already housing east of Edward Street. This is correct, however the visual context is far removed from the site. The predominant character of the east side of Edward Street south of Close Street and Brisbane Fields Road is that there is no housing, the outlook is to vegetated, rural or recreational land and that this character continues around into Duckenfield Road. Housing on the subject site would appear isolated and out of character.

The second and third dot points on Page 55 and second on Page 56 make statements about the potential screening of the site to views, which in my opinion are overstated or incorrect and also rely on inconsistent references to the presence of the former clubhouse, which may or may not be part of a future application on the site, depending on which part of the Heritage Assessment is read. Conserving the Moreton Bay fig trees on the site would be meritorious in any application, but does not have any significant effect with regard to screening the potential residential use of the site.

With regard to the merits of retaining the existing clubhouse building, if that was proposed, in my opinion the relationship between the existing building and adjacent sports fields is already insensitive and there is no merit in its retention as a screening device. If the Concept Plan is a guide to what level of screening would occur, one need look no further than the south east elevations, where a wall of development and back fences turns its back on the sports grounds, with minimal setbacks and no significant space for landscape. The potential for screening of development as stated in the SoHI is in my opinion grossly over-stated.

In the dot point at the top of Page 56 is the following statement:

The establishment within the site of thoroughfares for vehicular and pedestrian access will complement the historic street and laneway layout of Morpeth, while not artificially replicating the existing pattern.

I do not see any evidence that the roads and paths inside the site in the Concept Plan have any complementary qualities to the strict grid of streets, lanes, lots and residences that are so characteristic of both the overall urban form and the heritage values of Morpeth. For example, the site is directly on the axis of one of the primary east-west streets (John Street). The layout inside the site in the Master Plan does not acknowledge this, nor show any direct response to the relationship of lots or dwelling to the streets. The layout also has no streetscape presence to Edward Street: it is inward-looking and insular. I see no merit in the layout shown, which would only serve, if it was the future, to alienate the former Bowling Club site from the street, the playing fields and the Common.



7.0 Conclusions

In my opinion the SoHI does not demonstrate that the potential impacts of rezoning of the subject site would not lead to significant impacts on heritage values.

I consider that the SoHI relies too heavily on the claimed merits of the indicative concept plan submitted with the Planning Proposal to be credible as an independent assessment of heritage impacts.

I also consider that it has not been shown that the site should be considered as a potential urban infill site under the MUSS, on several grounds.

Overall it is my opinion that there is little merit in the planning proposal to rezone the site to R1 general residential and that therefore the application to decrease the permissible lot size in the MLEP is not a relevant consideration.

Yours sincerely

Dr Richard Lamb
Richard Lamb & Associates



Location 1: View south west from Brisbane Fields Road. The site is not visible.



Location 2: View south west from Hunter Street, Hinton. The site is not visible.



Location 3: View north west from Duckenfield Road. The site is visible.



Location 4: View north west from Duckenfield Road closer to the site. The site is visible.



Location 5: View north from Duckenfield Road west of its intersection with McFarlanes Road. This is a view from an important southern approach road into Morpeth.



Location 6: Axial view east along John Street towards the site.



Location 7: View east across the site from near its Edward Street former driveway entrance.



Location 8: View south east across the site from its north west corner of the site.



Location 9: Detail of former bowling clubhouse looking south east.



Location 10: View south east from the north east corner of the former bowling greens.



Location 11: View south east from along the east side of the former bowling greens.



Location 12: View south from along the east side of the former bowling greens.



Location 13: View west to Edward Street from along the east side of the former bowling greens.



Location 14: View south east to Heritage Item Grandstand and cricket oval from east of the existing bowling clubrooms. Site boundary is in the foreground adjacent to the steel mesh fence.



Location 15: View north west to Edward Street from middle of the centre sports field.



Location 16: View south west to Edward Street and Duckenfield Road intersection from east side of the cricket ground.



Location 17: View west to Edward Street from east side of the cricket ground.



Location 18: View north west to Edward Street from east edge of the cricket ground.



Location 19: View north west to Edward Street from sports field east of the cricket ground.



Location 20: Streetscape character detail No 21 Edward Street opposite the site.



Location 21: Streetscape character No 17 Edward Street opposite the site.



Location 22: Streetscape character No 23 Edward Street opposite the site.



Location 23: Streetscape character No 25 and No 27 Edward Street opposite the site.

Appendix 2: Curriculum Vitae

Summary Curriculum Vitae: Dr Richard Lamb

Summary

- Professional consultant specialising in visual and heritage impacts assessment and the principal of Richard Lamb and Associates (RLA)
- Senior lecturer in Architecture and Heritage Conservation in the Faculty of Architecture, Design and Planning at the University of Sydney, 1980-2007
- Director of Master of Heritage Conservation Program, University of Sydney, 1998-2004.
- 30 years experience in teaching and research in environmental impact, heritage and visual impact assessment.
- Teaching and research expertise in interpretation of heritage items and places, cultural transformations of environments, conservation methods and practices.
- Teaching and research experience in visual perception and cognition, aesthetic assessment and landscape assessment,.
- Supervision of Master and PhD students postgraduate students in heritage conservation and environment/behaviour studies..
- Experience in academic empirical research into human aspects of the built environment, in particular aspects of aesthetic assessment, visual perception, landscape preference and environmental psychology.
- Richard Lamb and Associates provides:
 - professional services, expert advice and landscape and aesthetic assessments in many different contexts
 - Strategic planning studies to protect and enhance scenic quality and landscape heritage values
 - Scenic and aesthetic assessments in all contexts, from rural to urban, provide advice on view loss, view sharing and landscape heritage studies.
- Dr Lamb provides:
 - Expert advice, testimony and evidence to the Land and Environment Court of NSW and Planning and Environment Court of Queensland in various classes of litigation.
 - Specialisation in matters of heritage landscapes, visual impacts, and urban design
 - Appearances in over 150 cases and submissions to several Commissions of Inquiry and the principal consultant for over 400 consultancies.
- Qualifications
 - Bachelor of Science - First Class Honours, University of New England
 - Doctor of Philosophy, University of New England in 1975
 - Accredited Administrator and Assessor, Myers Briggs Psychological Type Indicator
- International Journals for which Publications are Refereed
 - Landscape & Urban Planning
 - Journal of Architectural & Planning Research
 - Architectural Science Review
 - People and Physical Environment Research
 - Journal of Environmental Psychology
 - Australasian Journal of Environmental Management
 - Ecological Management & Restoration
 - Urban Design Review International